



# Salvum

## Fire Risk Assessment St. Bartholomews Place

Version 1

26 April 2023

Ref: J026533



Review Date: 26 April 2024

Score: Tolerable Risk

Assessor: Mohammed Waheed MIFSM DipFD

Validated by: Marc Glenister MIFSM DipFD



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# Version History

Version	Report By	Date	Validated By	Date
1	Mohammed Waheed MIFSM DipFD MIFSM, NEBOSH National Certificate in Fire Safety and Risk Management, C06 Fire Certificate	26 April 2023	Marc Glenister MIFSM DipFD MIFSM	04 May 2023

# Assessor Profile

## Mohammed Waheed MIFSM DipFD

MIFSM, NEBOSH National Certificate in Fire Safety and Risk Management, C06 Fire Certificate  
Fire Safety Consultant

Salvum Limited Fire Safety Risk Assessors have been appointed to assist in the carrying out their duties under fire safety legislation, specifically in carrying out a fire safety risk assessment in accordance with their duties under the relevant Legislation applicable to this property.

This risk assessment was undertaken by Mohammed Waheed Of Salvum Ltd. Salvum Ltd are satisfied that the assessor appointed to undertake this fire risk assessment is competent to do so by virtue of his qualifications, training, knowledge and appropriate level of experience.

Mohammed Waheed is a Senior Fire Risk Assessor at Salvum Ltd with over 8 years' experience within the fire safety and asbestos industry.

Mo studied Civil Engineering at Coventry University achieving a BSc Honours degree. The degree introduced him to Health and Safety and within his final year he was tasked with managing Health and Safety on a large-scale group project for the delivery of a commercial premises. This allowed Mo to have an introduction into the H+S industry in which post-graduation obtained a graduate role as an asbestos consultant at a multi-disciplinary consultancy. Mo joined Salvum as a senior asbestos consultant and immediately began furthering his knowledge into the fire industry by completing his NEBOSH National Certificate in Fire Safety and Risk Management. Undertaking a wide variety of risk assessments, Mo built his knowledge whilst undertaking further training and competency by achieving a C06 certification in Fire Risk Assessment with the FPA (Fire Protection Association). Continuing his development Mo achieved his C17D fire door undertaking with the FPA and a Diploma in fire doors with FDIS. Mo is also responsible for training and support of new employees, carrying out site investigations and validation of reports.

# Action Plan Summary

Task No.	Category	Sub Category	Action Required	Priority	Status	Action Taken	Date Completed
1	Escape Routes & Fire Spread	Fire Doors	<p>Flat entry doors should be fitted with close fitting solid timber FD30s fire rated doors fitted with three fire rated hinges, combined intumescent strips and cold smoke seals and a 'Positive' self closing device.</p> <p>Re the remaining flat front doors: The responsible person should ensure a full fire door survey throughout the building is undertaken by a third party accredited contractor. This inspection is to confirm which doors will offer the required fire protection, which doors require upgrades and which doors will need to be replaced. The survey will assist in planning and implementing an improvement programme and budgeting for any costs that may need to be met in protecting the escape route and the individual flats. All work on fire doors must be certificated.</p>	Medium	Identified		

2	Escape Routes & Fire Spread	Construction and Glazing	<p>Provide fire stopping at the following locations:</p> <ul style="list-style-type: none"> <li>&gt; Second Floor, Riser cupboard adjacent flat 216 where pipework penetrates.</li> <li>&gt; Second Floor opposite flat 217, Server cupboard adjacent flat.</li> <li>&gt; Floor 0 plant room, wall breaches and ceiling where services penetrate.</li> </ul> <p>Works should be tasked with a competent contractor with experience in passive fire protection using the industry standard methods and materials. Note; Expansion foams should not be used.</p>	Medium	Identified
3	Signs & Notices	Escape Route Signage	<p>Provide improved escape signage on the following escape routes: External walkway areas. Directional signage required to junction points and above the exit routes.</p> <p>Signage should be photo luminescent type and comply with BS 5499</p>	Medium	Identified
4	Escape Routes & Fire Spread	Fire Doors	<p>The intumescent strips on the following doors are missing and should be replaced:</p> <ul style="list-style-type: none"> <li>&gt; Floor 0 bike store</li> </ul>	Medium	Identified

5	Escape Routes & Fire Spread	Construction and Glazing	Replace damaged glazing to the third floor lift lobby fire door due to damaged glass. Where adequate replacement cannot be achieved, replace with a vision panel FD30s door	Medium	Identified
6	Fire Prevention	Lightning	The lightning protection conductor to the external wall adjacent flat 108 was damaged. Ensure the clips are re-instated to prevent further damage	Medium	Identified
7	Escape Routes & Fire Spread	Fire Doors	<p>Re-hang the following doors to reduce the gaps around the doors:</p> <ul style="list-style-type: none"> <li>&gt; Third floor corridor adjacent flat 317 with a threshold gap I</li> </ul> <p>Gaps around fire doors should not exceed 3-4mm at the sides and head of door and 4mm at the bottom of door.</p>	Medium	Identified
8	Emergency Lighting	Emergency Lighting	<p>Repair the emergency light in the following locations:</p> <ul style="list-style-type: none"> <li>&gt; East wing third floor lobby adjacent flat 302.</li> <li>&gt; Second floor emergency light opposite flat 214 (EML 155). Incorrect signage present also.</li> </ul>	Medium	Identified

9	Escape Routes & Fire Spread	Fire Doors	The intumescent strips and smoke seals on the following doors are damaged and should be replaced: > East wing third floor lobby door adjacent lift. > Flat 114	Medium	Identified
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10	Escape Routes & Fire Spread	Ease of Use	Remove locking device to the lift lobby fire door adjacent flat 315 as this door forms part of the escape route	Medium	Identified
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11	Fire Fighting	Fire Service Access & Facilities	No Premises Information Box located or seen on site at the time of the inspection:	Low	Identified
			<p>FIA Code of Practise for the Provisions of Premises Information Boxes in Residential Buildings provides recommendations for the provision of Premises Information Boxes (PIBs) and the Emergency Response Packs (ERPs) in high-rise residential buildings.</p>		
			<p>It is provided for responsible persons (RP) of high-rise residential buildings to assist them in providing and managing PIBs and ERPs. It also provides advice to FRSs in ensuring access and managing access systems. Building designers, Building Control Bodies and Building Safety Regulators will also find benefit from the guidance where a PIB is proposed for new buildings. The code of practice provides recommendations for the:</p> <ul style="list-style-type: none"> <li>• location of the PIB;</li> <li>• security against unauthorised access;</li> <li>• signage;</li> <li>• the Emergency Response Pack (ERP);</li> <li>• maintenance of the PIB and ERP;</li> <li>• exchange of information between stakeholders and definition of responsibilities.</li> </ul>		
			<p>This code of practice applies to the</p>		

provision of PIBs and ERPs within the following types of premises:

- existing blocks of flats whose top storey floor height is 18m or more, or over six storeys (ground plus five upper storeys), whichever is the lower;
- existing blocks of flats whose top storey floor height is below 18m or under six storeys which have additional complexity i.e. layout, access, floor numbering, flat numbering, firefighting facilities, fire engineering etc;
- student accommodation designed like a block of flats, e.g. those adopting a stay put approach whose top storey floor height is 11m or more;
- new build blocks of flats whose top storey floor height is 11m or more.

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12	Escape Routes & Fire Spread	Construction and Glazing	The ceilings in the following locations are damaged and should be repaired to achieve the original period of fire resistance: Opposite flat 6 (floor 0)	Low	Identified
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13	Signs & Notices	Fire Door Signage	Provide Fire Door Keep Locked Shut signs on the following doors: > Floor 0, plant room	Low	Identified
14	Signs & Notices	Fire Door Signage	Provide Fire Door Keep Closed signs on the following doors: Internal fire doors	Low	Identified
15	Signs & Notices	Fire Door Signage	Replace Fire Door Keep Closed signs with Fire Door Keep Locked signs on the following doors: > Floor 0 main electrical store	Low	Identified

16	Fire Management	Procedures & Arrangements	<p>Following the recent changes to the Fire Safety Regulations (England) 2022 which came into force on 23rd January 2023. The RP for this property is now required to provide all residents with the following information.</p> <p>&gt; Fire Safety Instructions: provide relevant fire safety instructions to their residents, which will include instructions on how to report a fire and any other instruction which sets out what a resident must do once a fire has occurred, based on the evacuation strategy for the building.</p> <p>&gt; Fire Door Information: provide residents with information relating to the importance of fire doors in fire safety.</p>	Low	Identified
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17	Fire Prevention	Smoking	<p>No Smoking' signage should be clearly displayed within the entrance to the premise.</p> <p>Under the Health Act 2006, the No Smoking Regulations 2007, and under Section 1.8 of the Guidance into Practice Document, smoking is prohibited under law from 1st July 2007 in all internal areas (excluding individual accommodation).</p>	Low	Identified
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# Introduction

This Fire risk assessment report addresses the requirement to carry out a suitable and sufficient risk assessment under The Fire Safety Regulations (England) 2022 which came into force on 23rd January 2023.

The risk assessment carried out was non-destructive, non-intrusive risk assessment, and consideration was given to PAS 79:2020 Fire Risk Assessment Guidance & Methodology, relevant British Standards, Building Regulations and MHCLG Guidance. The assessment considers the following significant fire risk areas:

- Means for detecting fire and giving warning to occupants
- Means of escape from the premises (including provisions for disabled persons)
- Fire Safety Signs and Notices
- Emergency Escape Lighting
- Means to limit fire spread and development of fire (e.g. Compartmentation)
- Means for fighting fire
- Other relevant firefighting systems and equipment; if provided
- Maintenance of facilities to assist fire-fighters
- Emergency Action Plan
- Staff training and Fire Drills
- Testing and maintenance of Fire Protection Measures
- Record keeping
- Cooperation & coordination with other premises occupiers, neighbouring premises, emergency services and other authorities

This report presents the significant findings of a fire risk assessment carried out upon residential communal areas by Salvum Limited.

The assessment carried out was a Type 1 assessment as agreed with the client and did not include areas below normal floor level, above false ceilings or unaccessible void unless these areas were readily accessible and identified within this report. Therefore, no 'intrusive' or 'destructive' inspections of compartmentation or voids was carried out. No responsibility therefore, is accepted by the assessor or Salvum Ltd for issues relating to compartmentation which could not be viewed or identified at the time of the survey. If a greater degree of inspection is required in order to ascertain adequate compartmentation within the property, this will be identified and recommended within the action plan section of this report.

The assessor was not provided with any building or equipment drawings or past planning applications or submissions, therefore the information contained within this report was obtained during the site survey, from information obtained from the 'Responsible Person' or members of staff with varying levels of responsibility, if on site at the time of the survey. Where no members of staff were present, the relevant information was obtained through the visual inspection of the site.

In establishing the final risk analysis, the assessor took into account the nature and design of the building, the occupants, including vulnerable occupants, the protection afforded, safety provisions and any procedural arrangements observed at the time of the assessment.

This report includes an Action Plan, which contains recommended tasks for completion at the premises. Each task has a suggested due date, related to its priority. These due dates are only our suggestions, and may or may not be appropriate, depending on individual circumstances such as logistical constraints or requirements of enforcing authorities.

A severity rating has also been allocated against each task. The below details the possible impact to relevant persons should a fire occur-  
Critical; The severity of the issue identified, if not completed presents an unacceptable risk to life

and/or serious injury to occupants. It is also likely to present significant property damage/total loss.

Major; The severity of the issue identified, if not completed will likely present a significant risk to life and/or serious injury to occupants. It is also likely to present significant fire damage to the premises.

Moderate; The severity of the issue identified if not completed could present a moderate risk to injury to occupants as well as moderate property damage.

Minor; Whilst unlikely to present a risk of severe injury to occupants or premises damage should be completed for best practice.

In the case of buildings containing dwellings and unless otherwise stated in our report, the scope of the assessment does not include individual dwellings. However, attempts were made during the assessment to access at least a sample of dwellings, and this report may therefore contain statements and/or recommendations with respect to dwellings. Such statements and recommendations are made on a goodwill basis only, based on the information available at the time.

Notwithstanding any statement or recommendation made with respect to dwellings, it is always recommended to ensure that working smoke alarms are provided in all dwellings to at least a BS 5839-6 Category LD3 standard. These should ideally be Grade D alarms (mains powered with integral battery back-up), although Grade F alarms (battery powered only) are a reasonable short term measure.

The premises Risk Score was assessed at the time of the assessment, and a recommended review date has been provided. The actual level of risk may change over time, as a result of tasks being completed, or new risks arising. Regardless of the recommended review date, the fire risk assessment should be reviewed regularly so as to keep it up to date and particularly if:

- There is reason to believe a significant change in the structure or use of the building.
- There is a significant change in relation to the special, technical or organisational measures.
- Changes have taken place that have not been notified and approved by the relevant enforcing body or Fire Authority where an 'Alterations' notice is in force.
- There is reason to believe that an occupant is operating in breach of fire safety legislation.
- Where changes to an assessment are required as a result of any such review, the Responsible Person must make them.

The fire risk assessment and report are subject to our standard terms and conditions, available to view at: [www.salvum.co.uk](http://www.salvum.co.uk)

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# Premises Details

## Building Information

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Address line 1	New Road
Address line 2	Rochester
Town	Kent
Postcode	ME1 1TW
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Client	MCR Property Group Manchester
Person(s) consulted on site	Jatinder Matto - Property Manager
Responsible person	MCR Property Group Manchester
Appointed competent person	Jatinder Matto - Property Manager
Person on site responsible for managing fire safety	Jatinder Matto - Property Manager
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Use	Converted, self-contained flats
Height of topmost storey	12
Number of floors - ground and above	3
Number of floors - below ground	1

Number of staircases	3
Number of exits	3
Number of lifts	2
Number of accommodation units	86
Approach to units	<ul style="list-style-type: none"> <li>• Direct from stair</li> <li>• Via protected lobbies / corridors</li> <li>• Via balconies / decks</li> </ul>
Approximate period of construction	Pre 1900

#### Premises and construction details

A Type 1 Fire Risk Assessment was carried out to a recently converted residential premises over four floors converted into 86 self contained flats. The premises was previously a large hospital and subject to full planning permission and building control approval to be converted into self contained units. Age of construction was circa early 1800s and conversion date starting around 2019/2020.

External construction was of masonry brick walls, tiled pitched roof with upvc framed windows and doors. Internal make up consists of painted plaster skim finish ceilings, plaster skim finish drywall partition and brick walls and carpet laid floorings.

The premises is divided into the east and west wings, with internal arrangements as below:

- > Floor 3; Flats 301-327
- > Floor 2; Flats 201-225
- > Floor 1; Flats 101-126
- > Floor 0; Flats 1-8

Access was gained via the front elevation pavement level access door which leads into the communal hall with main addressable panel and common parts serving all floors.

Internal flats are accessed via combination of protected internal lobbies and external aluminium deck and steel frame balcony approach walkways. To the top floor are two storey maisonette units and external communal roof areas. At lower ground level is bike storage and plant room areas. Two passenger lifts serve all floors and internal flats have a number of alternative escape routes available.

A communal fire alarm system is present, emergency lighting, dry risers, internal suppression to flats and AOV to head of stairs and corridor areas.



## Types of fire facilities provided

- Dry rising main
- Smoke ventilation
- Entrance door override

## Comments

- > Dry risers installed
- > AOV to head of stairs and corridors
- > Entrance door overrides



## Inaccessible Areas

Are there any inaccessible areas during inspection?

No

## People

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Are there any people especially at risk from fire?

Yes

People especially at risk from fire

- Other

Details of people especially at risk from fire

Residents are the main risk group on the building. This risk assessment does not encompass the residential dwelling themselves, while the occupants of the flats are 'relevant persons', the flats, as domestic dwellings, are outside the scope of the Regulatory Reform (Fire Safety) Order 2005.

There were no contractors working in remote areas at the time of assessment although it is conceivable that this eventuality could arise.

The predominant occupant type within a residential dwelling is one that is familiar with the layout of the building they frequent on a daily basis.

Visitors cannot be accounted for within any management procedures as their presence on the premises can occur at any time. The simple design and management of the building will precipitate escape for visitors if fire were to occur whilst they are in the common areas of the building. Members of the public would not normally be expected within the premises, with the exception of visitors to residents. As such, they are not considered to present the same risk in respect on unfamiliarity.

The assessor was unable to confirm whether persons with a disability which may affect their ability to evacuate the premises in the event of fire are onsite. Should this be the case it is advised that the responsible person contacts the fire risk assessor for further advice and next steps.

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## Fire Hazards

Sources of Ignition

- Electricity
- Cooking
- Malicious
- Smoking in unauthorised areas
- Contractors (Hot works)

Sources of Fuel

- Furniture and Furnishings
- Combustibles in communal areas
- Refuse bins
- Plants and Vegetation

Sources of Oxygen

- Natural

Comments

No additional fire hazards were identified during fire risk assessment

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Fire loss experience

No known previous fire loss

The exact number of persons within the building was unknown at the time of assessment. We would estimate 2-3 persons within flat for the purpose of this assessment. The assessor was not made aware of any persons within the premises whom may require assistance in the event of fire.

# Legislation

Fire safety legislation which applies to these premises

- Regulatory Reform (Fire Safety) Order 2005
- Fire Safety Act 2021
- Fire Safety (England) Regulations 2022

This legislation is enforced by

Local fire and rescue authority

Details of any other legislation that makes significant requirements for fire precautions in these premises (other than the Building Regulations)

Just like employers, landlords have certain legal obligations when it comes to fire safety and protection of their properties and the safety of people who reside in their premises. However, it is not as simple as ensuring there is a couple of fire extinguishers to hand – fire safety largely depends on the potential risks and the different types of buildings can cause confusion. For example, a building that is used for a single tenancy will differ to one which is shared across commercial and residential lettings. Legislation requires that landlords carry out fire risk assessment within communal areas of this property. This process will identify any fire hazards and who is at risk and decide if anything needs to be done to remove or reduce that risk.

Fire safety within the home is an extremely important issue, especially in mixed use premises and where unrelated occupiers, who live independently from one another, share common areas of the same building. This area of law is covered by the Housing Act 2004 and the Smoke and Carbon Monoxide Alarm (England) Regulations 2015 inside the dwelling and for the common areas, The Fire Safety Regulations (England) 2023 which came into force on 23rd January 2023. We would encourage all those with an interest in these types of premises to read Local Authorities Coordinators of Regulatory Services (LACORS) to ensure they are aware of their responsibilities to carry out a fire risk assessment, and make sure their property has adequate and appropriate fire safety.

Other legislation that may make significant requirements for fire precautions are listed below;

Management of Health and Safety at Work Regulations

Workplace (Health, Safety and Welfare) Regulations

Health and Safety (Safety Signs & Signals) Regulations

Electricity at Work Regulations

Health & Safety Executive HSG107 Maintaining portable & transportable electrical equipment The Equality Act

The Smoke-free (Premises & Enforcement) Regulations

Relevant Guidance

PAS79 - 'Fire Risk Assessment - a recommended methodology' - 2020

BS 5266-1:2016 - 'Emergency Lighting - Code of practice for the emergency lighting of premises'

BS 5499-4:2013 - 'Safety signs. Code of practice for escape route signage'

BS 5839-6:2019 - 'Fire detection and alarm systems for buildings. Code of practice for domestic premises'

BS 5499-10:2014 - 'Guidance for the selection and use of safety signs and fire safety notices'

BS 5266-8:2004 - 'Emergency escape lighting systems'

This assessment was undertaken using Fire Safety- Sleeping Accommodation Guidance. Further information can be found within the following link; [https://assets.publishing.service.gov.uk/government/uploads/system/uploads/attachment\\_data/file/422192/9281\\_Sleeping\\_Accommodation\\_v2.pdf](https://assets.publishing.service.gov.uk/government/uploads/system/uploads/attachment_data/file/422192/9281_Sleeping_Accommodation_v2.pdf)

Approve document B (fire safety) volume 1: Dwellings

Is there an alterations notice in force?

No

Do licensing laws apply to the premises?

No

#### Comments

The Regulatory Reform (Fire Safety) Order 2005 [RR(FS)O] replaces the 40 year old fire certification scheme. It is now the duty of the 'responsible person' for the premises to ensure the occupants are safe from the effects of fire as far as practicable. This does not imply a lesser responsibility for the safety of the occupant of the premises; it is almost certain that for premises which required a fire certificate prior to January 2006, similar measures will be required under the RR(FS)O.

The RR(FS)O applies to all non-domestic premises, including any voluntary sector and self-employed people with premises separate from their homes.

Other statutory requirements within this report may also fall under the scope of relevant building regulations under Approved Document Part B.

Where the premises do not fall under the scope of the Fire Reform Order 2005, specifically residential properties this assessment may be undertaken in accordance with The Housing Act 2004. The responsible person for the purposes of fire safety provision and maintenance at the residential accommodation is the person having control – usually the landlord, in HMOs, shared premises and single rented properties. The assessment will be required for Additional Licensing purposes by Local Authorities.

#### Scope Of Assessment;

A fire risk assessment is an organised and methodical look at your premises. The fire risk assessment procedure identifies the activities carried out at the premises and assesses the likelihood of a fire starting. The aim of a fire risk assessment is to:

- Identify the hazards
- Reduce the risk of those hazards causing harm to as low as reasonably practicable.
- Decide what physical fire precautions and management policies are necessary to ensure the safety of people in your premises if a fire does start.

This fire risk assessment was carried out in accordance relevant Government guidance.

The RR(FS)O places a burden of responsibility firmly on the head of a 'responsible person' with regard to the fire safety of the occupants of the premises to which they have been assigned. The responsible person is required to co-ordinate all fire safety related issues including the carrying out of a fire risk assessment and production of associated documentation. The responsible person may nominate a 'competent person' to assist in the implementation of any measures deemed necessary to ensure the fire safety of the occupants of the premises.

There are many factors that impact upon what may constitute adequate measures to assess the fire safety of the occupants.

Salvum Ltd are not the responsible person and can only recommend, on behalf of the organisation, the steps it should or must take to comply with its duties under the RR(FS)O.

This report is for the use of the party to whom it is addressed and should be used within the context of instruction under which it has been prepared.

No opening up of any part of the structure was carried out nor was any operational electrical or mechanical systems tested. All comments and recommendations are based on visual inspection only and are of the view of the assessor whom undertook this assessment.

# Fire Prevention

## Electrical

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Are electrical installations and appliances free from any obvious defect?

Yes

Are fixed installations periodically inspected and tested?

Yes

Are portable electrical appliances used?

No

### Comments

An electrical installation certificate was issued on 29/07/2022 with a recommended date of next inspection not exceeding 5 years in accordance with BS 7671.

Passenger lifts are under contract maintenance.



## Gas

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Are gas installations and appliances free from any obvious defect?

N/A

Is gas equipment protected/located so as not to be prone to accidental damage?

N/A

### Comments

No gas installations present within the communal areas of the property.

No gas main intake or isolation points in the common areas.

## Heating

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Are fixed heating installations free from any obvious defect?

Yes

Are portable heaters used?

No

Comments

Common areas were not heated.

## Cooking

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Does cooking take place on the premises?

No

Comments

No cooking facilities present within common areas of the property.

## Arson

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Is security against arson reasonable?

Yes

Is there a reasonable absence of external fuels and ignition sources?

Yes

Comments

Access to the property is restricted via a locked entrance doors fitted with intercom release.

External areas were well kept and clear from excessive combustible materials at the time of inspection.

There is a potential for arson within all premises. All efforts should be made to ensure the main entrance is securely locked and all combustible articles I.e wheelie bins and paladin bins are kept away from the premises.

Residents should remain vigilant at all times and ensure that all combustibles waste is disposed of responsibly and not left in the common parts or externally to the premises.





## Housekeeping

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Is accumulation of combustibles or waste avoided?

Yes

Are there appropriate storage facilities for combustible & hazardous materials?

N/A

Comments

A good standard of housekeeping was observed at the time of assessment. Ensure management of communal areas continues.

## Building Works

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Are there any hot works being carried-out at this time?

No

Are the premises free of any obvious signs of incorrect hot work procedures in the past?

Yes

Comments

No hot works undertaken at the time of the inspection

Contractors pre authorised by the management company.

Any contractors used should be checked for suitable qualifications and experience prior to commencement of works.

Risk assessments, method statements, public and employer liability insurance documents should also be requested from the contractor. All contractors should be given information on the actions to take in the event of a fire.

## Smoking

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Are there suitable arrangements taken to prevent fires caused by smoking?

No

Comments

No smoking signage was not displayed within this premises at the time of inspection.

## Dangerous Substances

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Are dangerous substances present, or liable to be present?

No

Comments

No dangerous substances were present within the communal areas at the time of inspection.

Dangerous substances not expected within common areas.

## Lightning

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Is a lightning protection system installed?

Yes

Is the lightning protection system free from any obvious defect?

No

Is the lightning protection system periodically inspected?

Yes

Comments

Lightning protection identified and commissioned on installation.

A section is damaged and requires remedial works



# Escape Routes & Fire Spread

## Ease of Use

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Are exits easily and immediately openable?

Minor Defects

Do fire exits open in direction of escape where necessary?

Yes

Are escape routes unobstructed and safe to use?

Yes

Are there reasonable measures for the evacuation of disabled people?

Yes

### Comments

Internal flats deploy onto a combination of internal protected escape routes which lead to direct safety or balcony approach flats which have the option of alternative escape via two escape stair cores.

Lockable device identified to lift lobby exit adjacent flat 315.

Entrance door overrides present.

Travel distances were measured and considered to be acceptable for the type and use of premises. The fire exits lead to a final place of safety away from the property.



## Dimensions

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Are travel distances reasonable?

Yes

Is there sufficient exit capacity?

Yes

## Fire Doors

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### Comments

Exit capacity for the type, size and occupation of this building was considered adequate.

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Doors which are expected to be fire resisting:

- Flat Entrances
- Plant Rooms
- Risers

Flat Entrance Doors

- FD30S self-closing

Plant Room Doors

- FD60S

Riser Doors

- FD60S

Do any fire doors appear to be of composite construction?

No

Are fire doors to a suitable standard?

Minor Defects

Is there suitable provision of self-closing devices?

Minor Defects

Is there suitable provision of hold-open devices?

N/A

Are doors kept locked where appropriate?

Yes

### Comments

Following doors were inspected as part of a sample inspection of flat entrance doors. The deficiencies identified:

- > Flat 216 threshold gap
- > Flat 116 threshold gap
- > Flat 1 - FD30S, three fire rated hinges, positive closer, intumescent strips and batwing seals, threshold gap.
- > Flat 108 - Door not latching, threshold gap
- > Flat 102 - Threshold gap
- > Flat 114 - FD30S, threshold gap, damaged seals
- > Flat 202 external door, no closer, no requirement as no passing risk.
- > Flat 305 - External balcony door

A number of deficiencies identified with internal lobby and stairwell doors with threshold gaps.

Fire Doors need to be checked periodically to ensure they operate correctly, close to completion and are not wedged or held open.

Management should establish an ongoing rolling programme of checks to all flat entrance fire doors to ensure that all remain adequately fire-resisting, self-closing and in good repair.

The responsible person to ensure that all flat entry doors which deploy into the communal area are inspected and confirmed as adequate. Flat entry doors should be fitted with close fitting solid timber FD30s fire rated doors fitted with three fire rated hinges, combined intumescent strips and cold smoke seals and a 'Positive' self closing device.

In addition, gaps around fire doors should not exceed 3-4mm at the sides and head of door and 4mm at the bottom of door.

Glazing infields with flat entrance doors should also be suitably fire rated and capable of withstanding the effects of a fire for up to 30 minutes.

Any doors/glazing which does not comply should be upgraded or replaced by a competent fire door contractor.



## Construction & Glazing

Are escape routes protected with suitable walls and floors?

Minor Defects

Is there adequate compartmentation?

Minor Defects

Is there reasonable limitation of linings that might promote fire spread?

Yes

Are external walls and attachments free from materials, products and systems which could promote excessive fire spread?

Yes

Glazing which is expected to be fire resisting, inc vision panels and fanlights:

- Staircases

Staircase Glazing

- 30 mins E

Is glazing reasonable and free from any obvious defects?

Yes

### Comments

It is expected that suitable separation of flats and common areas would have been provided during the conversion, in conjunction with building regulations Approved Document PART B (fire).

Compartmentation deficiencies identified to following areas:

- > Second Floor, Riser cupboard adjacent flat 216 where pipework penetrates.
- > Second Floor opposite flat 217, Server cupboard adjacent flat.
- > Floor 0 plant room, wall breaches and ceiling where services penetrate.

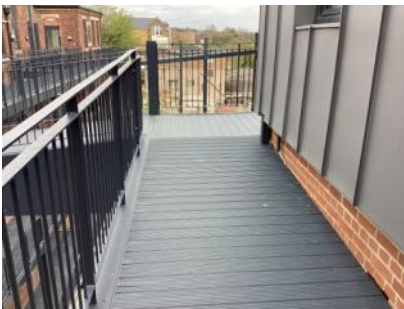
It is recommended that a competent passive fire protection contractor is tasked with undertaking additional investigations and remedial works using suitable materials and methods.

Glazed infills within doors and/or partitions were inspected and considered suitable for protecting the escape route for 30 minutes.

The external envelope of the premises is identified to be made up of aluminium construction. No issues identified and products used would be required to comply with modern building regulations Approved Document PART B (fire).

A policy should be introduced to inform all residents to limit combustible materials on their balconies and to not have any bbqs or live fires.

Glazing serving the external balconies alongside fire doors could not be confirmed to be fire rated and ledges installed below 1100mm. Due to the layout where alternative means of escape is provided and internal fire suppression to flats, such requirements for fire rated materials is not required.



## Dampers, Ducts & Chutes

Are there suitable measures to restrict fire spread via ducts and concealed spaces?

Yes

### Comments

The assessor was unable to access area where fire dampers may be present due to the level inspection undertaken (Type 1 non-destructive) as such we are unable to comment further.

# Smoke Ventilation

Areas where smoke ventilation is expected:

- Lobbies
- Staircases

Lobbies

- Openable Windows
- Mechanical Extraction

Staircases

- Natural Vent - Automatic

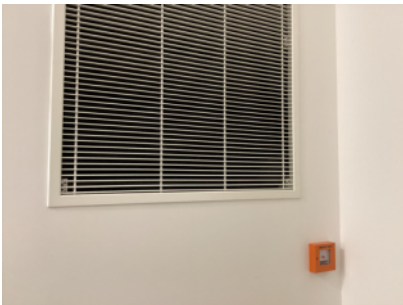
Is smoke ventilation reasonable and free from any obvious defects?

Yes

Comments

The escape stairs is vented by an AOV (Automatic Opening Vent). An override fireman switch is located on the ground and upper floor.

Mechanical ventilation also serves the corridors due to travel distances. This is to comply with Approved Document PART B (fire).





# Detection & Warning

## Control Equipment

---

Is an electrical fire alarm system expected?

No

Why not?

Converted flats of stay-put standard

Is a fire detection and/or alarm system provided?

Yes

Areas covered

- Flats
- Communal areas

---

### Flats

System Category

- BS 5839 Pt6 Grade D Category LD2

Cause & Effect

- Sounds alarm in flat of origin

---

### Communal Areas

System Category

- BS 5839 Pt1 Category L5
- BS 5839 Pt6 Grade A Category LD3

Cause & Effect

- Operates smoke ventilation
- Unlocks main entrance door

---

Is the control equipment suitably located?

Yes

Is the control equipment free from any obvious fault or defect?

Yes

Comments

Fire system control equipment was suitably placed adjacent to the main entrance and clearly visible.



## Manual Fire Alarms

Are there sufficient means of manually raising an alarm?

N/A

Are manual callpoints appropriately located and free from obvious defect?

N/A

Comments

N/A

## Automatic Fire Detection

Is there sufficient provision of automatic fire detection?

Yes

Is the type of automatic fire detection suitable and free from obvious defect?

Yes

Comments

Taking into account the level of compartmentation afforded during design and construction stage. A fire detection system is not required within the common parts of this type of property. Residents should ensure a suitable means of fire detection within their own demise.

Detection installed for purposes of activating the AOV system

Adequate independent grade d detection within residential flats



## Audibility

---

Are there adequate means of alerting all relevant persons?

N/A

Comments

Sounding devices not required within common areas of this property.

# Firefighting

## Fire Extinguishers

---

Are fire extinguishers expected?

No

Why not?

- Not practicable to train residents
- Vandalism concerns

Are fire extinguishers provided?

No

Is the provision of fire extinguishers reasonable?

Yes

### Comments

The provision of simple fire extinguishers can be useful in restricting the development and spread of small fires in their early stages. However, unless a fire is very small, the best advice is to evacuate the building to a place of safety and call the fire and rescue service. This is because for larger fires people need training to know what type of fire an extinguisher can safely be used on, how to tackle a fire safely, and when to give up and get out. The installation of extinguishers can also lead to problems if they are not properly maintained or where equipment is discharged through malice or horseplay. For these reasons extinguishers are not recommended within communal areas of this property.

## Fixed Systems

---

Are any fixed systems provided?

Yes

Types of system

- Sprinklers

Is provision of fixed systems reasonable?

Yes

Comments

Sprinkler systems identified within the premises to parts of the common areas and flats.

System has been recently commissioned



## Fire Service Facilities

Is a secure information box required?

Yes

Are any fire service facilities provided?

Yes

Types of facility

- Dry rising main
- Smoke ventilation
- Entrance door override

Is provision of fire service facilities reasonable?

Minor Defects

Comments

No Premises Information Box located or seen on site at the time of the inspection.

Provisions in terms of access and lighting for fire service personnel was considered adequate at the time of assessment.

The buildings Responsible Person (or RP) is legally required to ensure the system is maintained to BS 9990:2015 code of practice which means a full annual pressure test plus a six monthly visual check for dry risers in buildings over 18 metres.

British Standards state that inlets, landing valves, drain valves and landing valve boxes should be inspected every six months and that wet tests be carried out annually when the riser can be checked for leaks. They also state that maintenance and repairs should be carried out by a competent person.



# Lighting

## Normal Lighting

---

Is there adequate lighting of internal escape routes?

Yes

Is there adequate lighting of external escape routes?

Yes

Is there adequate lighting in risk critical areas?

Yes

Comments

Conventional lighting was considered adequate at the time of assessment

## Emergency Lighting

Method of emergency lighting of internal escape routes:

- Borrowed light
- Non-maintained emergency lighting (local)

Is this provision reasonable?

Minor Defects

Method of emergency lighting of external escape routes:

- Borrowed light
- Non-maintained emergency lighting (local)

Is this provision reasonable?

Yes

Method of emergency lighting of other areas:

- Non-maintained emergency lighting (local)

Is this provision reasonable?

Yes

Comments

The level of emergency escape lighting was considered adequate and appeared to be installed in accordance with BS 5266.

Number of units require attention





# Signs & Notices

## Escape Routes

---

Is escape route signage necessary?

Yes

Is escape route signage provided?

Yes

Is provision of escape route signage suitable?

Minor Defects

Comments

Given the simplicity of the common escape route it is not deemed necessary to provide fire escape signage.

## Fire Doors

---

Is there signage suitable for self-closing fire doors?

Minor Defects

Is there signage suitable for locked fire doors?

Minor Defects

Is there signage suitable for automatic fire doors?

N/A

Comments

Additional internal door signage required



## Other Signs & Notices

Is there suitable signage for fire service facilities?

Yes

Are fire action notices suitable?

Yes

Are there suitable notices for fire extinguishers?

N/A

Is there suitable wayfinding signage for the fire and rescue service?

Yes

Is there suitable zone information for the fire alarm system?

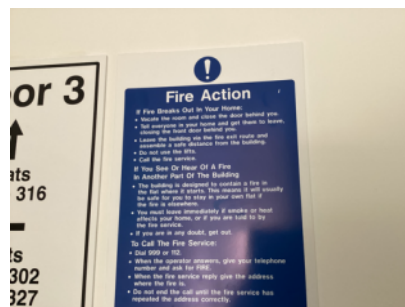
N/A

Comments

Lift signage present

Fire action notices displayed.

Way finding signage present.



# Fire Safety Management

## Procedures & Arrangements

---

Current evacuation policy

Stay Put

Further details

This purpose-built blocks of flats should operate a Stay Put/Defend in Place fire policy. This strategy may be considered in blocks of flats where each flat is a minimum 60 minutes fire resisting compartment. The policy involves the following approach. When a fire occurs within a flat, the occupants alert others in the flat, make their way out of the building and summon the fire and rescue service. If a fire starts in the common parts, anyone in these areas makes their way out of the building and summons the fire and rescue service. All other residents not directly affected by the fire should be safe to stay put and remain in their flat unless directed to leave by the fire and rescue service. It is not implied that those not directly involved who wish to leave the building should be prevented from doing so. Nor does this preclude those evacuating a flat that is on fire from alerting their neighbours so that they can also escape if they feel threatened.

Are fire action procedures suitable and appropriately documented?

Yes

Are new residents given a copy of fire safety instructions after they move in?

Not Known

Are all residents given a copy of fire safety instructions every 12 months?

Not Known

Are new residents given relevant information about fire doors after they move in?

Not Known

Are all residents given relevant information about fire doors every 12 months?

Not Known

Are there suitable arrangements for calling the fire service?

Yes

Is there a suitable fire assembly point?

N/A

Are there suitable arrangements for the evacuation of disabled people?

Yes

Is there co-operation and co-ordination between relevant parties?

N/A

Comments

The responsible persons attention should be drawn to a new fire risk assessment prioritisation tool (FRAPT) which has been issued under the new regulations which came into force on 23rd January 2023.

The Fire Risk Assessment Prioritisation Tool (FRAPT) is a web-based tool that helps Responsible Persons (RPs) update their fire risk assessments and ensure that any safety risks are addressed as soon as possible. The tool assigns a priority rating to buildings based on a series of questions about the structure, external walls, and flat entrance doors. The purpose of the FRAPT is to assist Responsible Persons in establishing a prioritisation strategy for updating their fire risk assessments. The FRAPT can be accessed from the Home Office website; <https://bpt.homeoffice.gov.uk>



## Training & Drills

---

Are staff regularly on the premises?

No

Are employees from outside organisations given appropriate fire safety information?

Not Known

Comments

The assessor was unable to determine whether there are suitable arrangements for contractors working onsite. Contractors working onsite can pose increased risk of fire due to work processes undertaken within the premises. Request method statements and risk assessments. Consider requesting copies of health & safety policy documents, public & employer's liability insurance documents, training records and RAMS for activities they will be carrying out.

Any contractors or visitors working on this site must be informed as to what evacuation procedures are in place and what their responsibilities are in the event of an emergency.

## Testing & Maintenance

---

Was testing & maintenance information available?

Yes

Is there suitable checking, testing & maintenance of the following fire safety measures:

Fire alarm system?

Yes

Emergency lighting?

Yes

Smoke ventilation systems?

Yes

Fixed fire-fighting installations?

Yes

Fire mains?

Yes

Fire-fighting lifts?

N/A

Flat entrance doors?

Yes

Fire doors in communal areas?

Yes

Other fire safety measures?

N/A

Are there routine in-house fire safety inspections?

Yes

---

Are fire extinguishers subject to suitable test & maintenance?

N/A

Comments

AOV commissioning - 10/08/22

Emergency lighting - 01/09/22



## Record Keeping

---

Were fire safety records available?

Yes

Are appropriate records kept of the testing & maintenance of:

Fire alarm system (inc false alarms)?

Yes

Emergency lighting?

Yes

Smoke ventilation?

Yes

Fixed fire-fighting systems?

Yes

Fire mains?

Yes

Fire-fighting lifts?

N/A

Other fire safety measures?

N/A

Are records kept of fire drills and training?

N/A

Is a record kept of the steps taken to complete checks of flat entrance doors?

Yes

Is there a suitable record of the design of the external walls of the building?

Yes

---

Is the local fire and rescue authority provided with suitable information regarding the design of external walls?

N/A

Is the local fire and rescue authority provided with floors plans and a building plan?

N/A

Are fire safety records accessible to the residents of the building?

N/A

Comments

Records of testing and maintenance is held with the responsible person



# Tasks

## Task 1

Ref 1423173

Source Version 1

Category Escape Routes & Fire Spread

Sub Category Fire Doors

Action Required Flat entry doors should be fitted with close fitting solid timber FD30s fire rated doors fitted with three fire rated hinges, combined intumescent strips and cold smoke seals and a 'Positive' self closing device.

Re the remaining flat front doors:

The responsible person should ensure a full fire door survey throughout the building is undertaken by a third party accredited contractor. This inspection is to confirm which doors will offer the required fire protection, which doors require upgrades and which doors will need to be replaced. The survey will assist in planning and implementing an improvement programme and budgeting for any costs that may need to be met in protecting the escape route and the individual flats. All work on fire doors must be certificated.

Priority Medium

Severity Moderate

Status Identified

Due Date 19 July 2023

---

## Task 2

Ref 1423164

Source Version 1

Category Escape Routes & Fire Spread

Sub Category Construction and Glazing

Action Required Provide fire stopping at the following locations:  
> Second Floor, Riser cupboard adjacent flat 216 where pipework penetrates.  
> Second Floor opposite flat 217, Server cupboard adjacent flat.  
> Floor 0 plant room, wall breaches and ceiling where services penetrate.

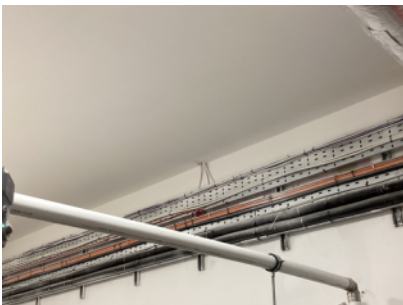
Works should be tasked with a competent contractor with experience in passive fire protection using the industry standard methods and materials. Note; Expansion foams should not be used.

Priority Medium

Severity Moderate

Status Identified

Due Date 19 July 2023



## Task 3

Ref 1423171

Source Version 1

Category Signs & Notices

Sub Category Escape Route Signage

Action Required Provide improved escape signage on the following escape routes: External walkway areas. Directional signage required to junction points and above the exit routes.

Signage should be photo luminescent type and comply with BS 5499

Priority Medium

Severity Minor

Status Identified

Due Date 19 July 2023



## Task 4

Ref 1423169  
Source Version 1  
Category Escape Routes & Fire Spread  
Sub Category Fire Doors  
Action Required The intumescent strips on the following doors are missing and should be replaced:  
> Floor 0 bike store  
Priority Medium  
Severity Moderate  
Status Identified  
Due Date 19 July 2023



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## Task 5

Ref 1423158  
Source Version 1  
Category Escape Routes & Fire Spread  
Sub Category Construction and Glazing  
Action Required Replace damaged glazing to the third floor lift lobby fire door due to damaged glass. Where adequate replacement cannot be achieved, replace with a vision panel FD30s door  
Priority Medium  
Severity Moderate  
Status Identified  
Due Date 19 July 2023



## Task 6

Ref 1423165  
Source Version 1  
Category Fire Prevention  
Sub Category Lightning  
Action Required The lightning protection conductor to the external wall adjacent flat 108 was damaged. Ensure the clips are re-instated to prevent further damage  
Priority Medium  
Severity Moderate  
Status Identified  
Due Date 19 July 2023



## Task 7

Ref 1423163

Source Version 1

Category Escape Routes & Fire Spread

Sub Category Fire Doors

Action Required Re-hang the following doors to reduce the gaps around the doors:  
> Third floor corridor adjacent flat 317 with a threshold gap I

Gaps around fire doors should not exceed 3-4mm at the sides and head of door and 4mm at the bottom of door.

Priority Medium

Severity Moderate

Status Identified

Due Date 19 July 2023



## Task 8

Ref 1423162

Source Version 1

Category Emergency Lighting

Sub Category Emergency Lighting

Action Required Repair the emergency light in the following locations:  
> East wing third floor lobby adjacent flat 302.  
> Second floor emergency light opposite flat 214 (EML 155). Incorrect signage present also.

Priority Medium

Severity Moderate

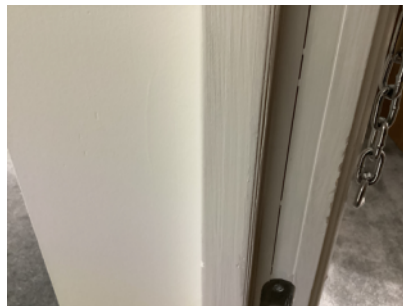
Status Identified

Due Date 19 July 2023



## Task 9

Ref 1423161  
Source Version 1  
Category Escape Routes & Fire Spread  
Sub Category Fire Doors  
Action Required The intumescent strips and smoke seals on the following doors are damaged and should be replaced:  
> East wing third floor lobby door adjacent lift.  
> Flat 114  
Priority Medium  
Severity Moderate  
Status Identified  
Due Date 19 July 2023



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## Task 10

Ref 1423159  
Source Version 1  
Category Escape Routes & Fire Spread  
Sub Category Ease of Use  
Action Required Remove locking device to the lift lobby fire door adjacent flat 315 as this door forms part of the escape route  
Priority Medium  
Severity Moderate  
Status Identified  
Due Date 19 July 2023





## Task 11

Ref 1423166  
Source Version 1  
Category Fire Fighting  
Sub Category Fire Service Access & Facilities  
Action Required No Premises Information Box located or seen on site at the time of the inspection:

FIA Code of Practice for the Provisions of Premises Information Boxes in Residential Buildings provides recommendations for the provision of Premises Information Boxes (PIBs) and the Emergency Response Packs (ERPs) in high-rise residential buildings.

It is provided for responsible persons (RP) of high-rise residential buildings to assist them in providing and managing PIBs and ERPs. It also provides advice to FRSS in ensuring access and managing access systems. Building designers, Building Control Bodies and Building Safety Regulators will also find benefit from the guidance where a PIB is proposed for new buildings. The code of practice provides recommendations for the:

- location of the PIB;
- security against unauthorised access;
- signage;
- the Emergency Response Pack (ERP);
- maintenance of the PIB and ERP;
- exchange of information between stakeholders and definition of responsibilities.

This code of practice applies to the provision of PIBs and ERPs within the following types of premises:

- existing blocks of flats whose top storey floor height is 18m or more, or over six storeys (ground plus five upper storeys), whichever is the lower;
- existing blocks of flats whose top storey floor height is below 18m or under six storeys which have additional complexity i.e. layout, access, floor numbering, flat numbering, firefighting facilities, fire engineering etc;
- student accommodation designed like a block of flats, e.g. those adopting a stay put approach whose top storey floor height is 11m or more;
- new build blocks of flats whose top storey floor height is 11m or more.

Priority Low  
Severity Minor  
Status Identified  
Due Date 25 April 2024

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## Task 12

Ref 1423167  
Source Version 1  
Category Escape Routes & Fire Spread  
Sub Category Construction and Glazing  
Action Required The ceilings in the following locations are damaged and should be repaired to achieve the original period of fire resistance: Opposite flat 6 (floor 0)  
Priority Low  
Severity Minor  
Status Identified  
Due Date 25 April 2024



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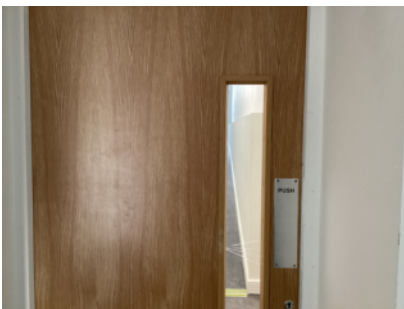
## Task 13

Ref 1423168  
Source Version 1  
Category Signs & Notices  
Sub Category Fire Door Signage  
Action Required Provide Fire Door Keep Locked Shut signs on the following doors:  
> Floor 0, plant room  
Priority Low  
Severity Minor  
Status Identified  
Due Date 25 April 2024

---

## Task 14

Ref 1423160  
Source Version 1  
Category Signs & Notices  
Sub Category Fire Door Signage  
Action Required Provide Fire Door Keep Closed signs on the following doors: Internal fire doors  
Priority Low  
Severity Minor  
Status Identified  
Due Date 25 April 2024



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## Task 15

Ref 1423170  
Source Version 1  
Category Signs & Notices  
Sub Category Fire Door Signage  
Action Required Replace Fire Door Keep Closed signs with Fire Door Keep Locked signs on the following doors:  
> Floor 0 main electrical store  
Priority Low  
Severity Minor  
Status Identified  
Due Date 25 April 2024



## Task 16

Ref	1423172
Source Version	1
Category	Fire Management
Sub Category	Procedures & Arrangements
Action Required	<p>Following the recent changes to the Fire Safety Regulations (England) 2022 which came into force on 23rd January 2023. The RP for this property is now required to provide all residents with the following information.</p> <p>&gt; Fire Safety Instructions: provide relevant fire safety instructions to their residents, which will include instructions on how to report a fire and any other instruction which sets out what a resident must do once a fire has occurred, based on the evacuation strategy for the building.</p> <p>&gt; Fire Door Information: provide residents with information relating to the importance of fire doors in fire safety.</p>
Priority	Low
Severity	Minor
Status	Identified
Due Date	25 April 2024

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## Task 17

Ref	1423157
Source Version	1
Category	Fire Prevention
Sub Category	Smoking
Action Required	<p>No Smoking' signage should be clearly displayed within the entrance to the premise.</p> <p>Under the Health Act 2006, the No Smoking Regulations 2007, and under Section 1.8 of the Guidance into Practice Document, smoking is prohibited under law from 1st July 2007 in all internal areas (excluding individual accommodation).</p>
Priority	Low
Severity	Minor
Status	Identified
Due Date	25 April 2024

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# Risk Score

Taking into account the fire prevention measures observed at the time of this risk assessment, it is considered that the hazard from fire (likelihood of fire) at these premises is:

Low

Taking into account the nature of the building and the occupants, as well as the fire protection and procedural arrangements observed at the time of this fire risk assessment, it is considered that the consequences for life safety in the event of fire would be:

Moderate

Likelihood	Potential Consequence		
	Slight Harm	Moderate Harm	Extreme Harm
High	Moderate	Substantial	Intolerable
Medium	Tolerable	Moderate	Substantial
Low	Trivial	<b>Tolerable</b>	Moderate

## Likelihood

- Low** Unusually low likelihood of fire as a result of negligible potential sources of ignition.
- Medium** Normal fire hazards (e.g. potential ignition sources) for this type of occupancy, with fire hazards generally subject to appropriate controls (other than minor shortcomings).
- High** Lack of adequate controls applied to one or more significant fire hazards, such as to result in significant increase in likelihood of fire.

## Consequence

- Slight** Outbreak of fire unlikely to result in serious injury or death of any occupant (other than an occupant sleeping in a room in which a fire occurs).
- Moderate** Outbreak of fire could foreseeably result in injury (including serious injury) of one or more occupants, but it is unlikely to involve multiple fatalities.
- Extreme** Significant potential for serious injury or death of one or more occupants.

<b>Trivial</b>	Limited or no further improvements required for compliance.
<b>Tolerable</b>	No major additional controls required. However, there may be a need for improvements that involve minor or limited cost.
<b>Moderate</b>	It is essential that efforts are made to reduce the risk. Risk reduction measures should be implemented within a defined time period. Where medium risk is associated with consequences that constitute extreme harm, further assessment might be required to establish more precisely the likelihood of harm as a basis for determining the priority for improved control measures.
<b>Substantial</b>	Considerable resources might have to be allocated to reduce the risk. If the building is unoccupied, it should not be occupied until the risk has been reduced. If the building is occupied, urgent action should be taken.
<b>Intolerable</b>	The building (or relevant area) should not be occupied until the risk is reduced.

Risk Score	Tolerable Risk
Risk score once all tasks have been completed	Trivial Risk
Next Assessment Due	26 April 2024



## Life Safety Fire Risk Assessment Certificate of Conformity

This certificate is issued by the organisation named in Part 1 of the schedule in respect of the fire risk assessment provided for the person(s) or organisation named in Part 2 of the schedule at the premises and / or part of the premises identified in Part 3 of the schedule.

### Schedule

#### Part 1

Name of Certificated Organisation: Salvum Ltd, The Warehouse, Alma Road, Hadleigh, Essex, SS7 2EF

**Bafe Registration Number:** 103762

**SSAIB Registered Provider:** ESSX286

#### Part 2

Name of Client MCR Property Group Manchester

#### Part 3

Address of premises to which this assessment was undertaken New Road, Rochester, Kent, ME1 1TW

Part of premises to which this assessment applies Communal Areas only (Type 1)

#### Part 4

Brief description and scope of this assessment Life Safety as per agreed specification

#### Part 5

Effective date of the fire risk assessment 26 April 2023

#### Part 6

Recommended review date of the fire risk assessment 26 April 2024

#### Part 7

Unique reference no. J026533

We, being currently a 'Certificated Organisation' in respect of fire risk assessment identified in the above schedule, certify that the fire risk assessment referred to in the above schedule complies with the Specification identified in the above schedule and with all other requirements as currently laid down within the BAFE SP205 Scheme in respect of such fire risk assessment.

### Signed for and on behalf of the issuing Certified Organisation

**Name and Job Title:** Marc Glenister :: Technical Director

**Date of Issue:** 4 May 2023

**Signature:**



**SSAIB (certification body)** can be contacted at: 7 - 11 Earsdon Road, West Monkseaton, Whitley Bay, Tyne and Wear, NE25 9SX. Tel: +44 (0) 191 296 3242 E-mail: [certificate@ssaib.org](mailto:certificate@ssaib.org) Web: [www.ssaib.org](http://www.ssaib.org) / [www.ssaib.ie](http://www.ssaib.ie)

**BAFE, The Fire Service College**, London Road, Moreton-in-Marsh, Gloucestershire, GL56 0RH [www.bafe.org.uk](http://www.bafe.org.uk) : +44 (0) 844 335 0897

